

A G E N D A
RUSH COUNTY BOARD OF ZONING APPEALS
Thursday, March 6, 2014
6:30PM

ROLL CALL:

MINUTES: February 6, 2014

SPECIAL EXCEPTIONS: None

VARIANCES:

1. Farm Credit Mid-American, 1759 N. Main Street, Rushville, is requesting a variance from Section 6-101-9 of the Rushville Zoning Ordinance to allow a freestanding sign over ten (10) feet in height and over thirty-two (32) square feet in size, zoned C-1; Neighborhood Business District.

APPEALS: None

REVIEWS: None

OLD BUSINESS: Proposed Chicken Ordinance – Comments/Suggestions

NEW BUSINESS: None

AUDIENCE PARTICIPATION:

REPORTS:

Attorney

Plan Consultant

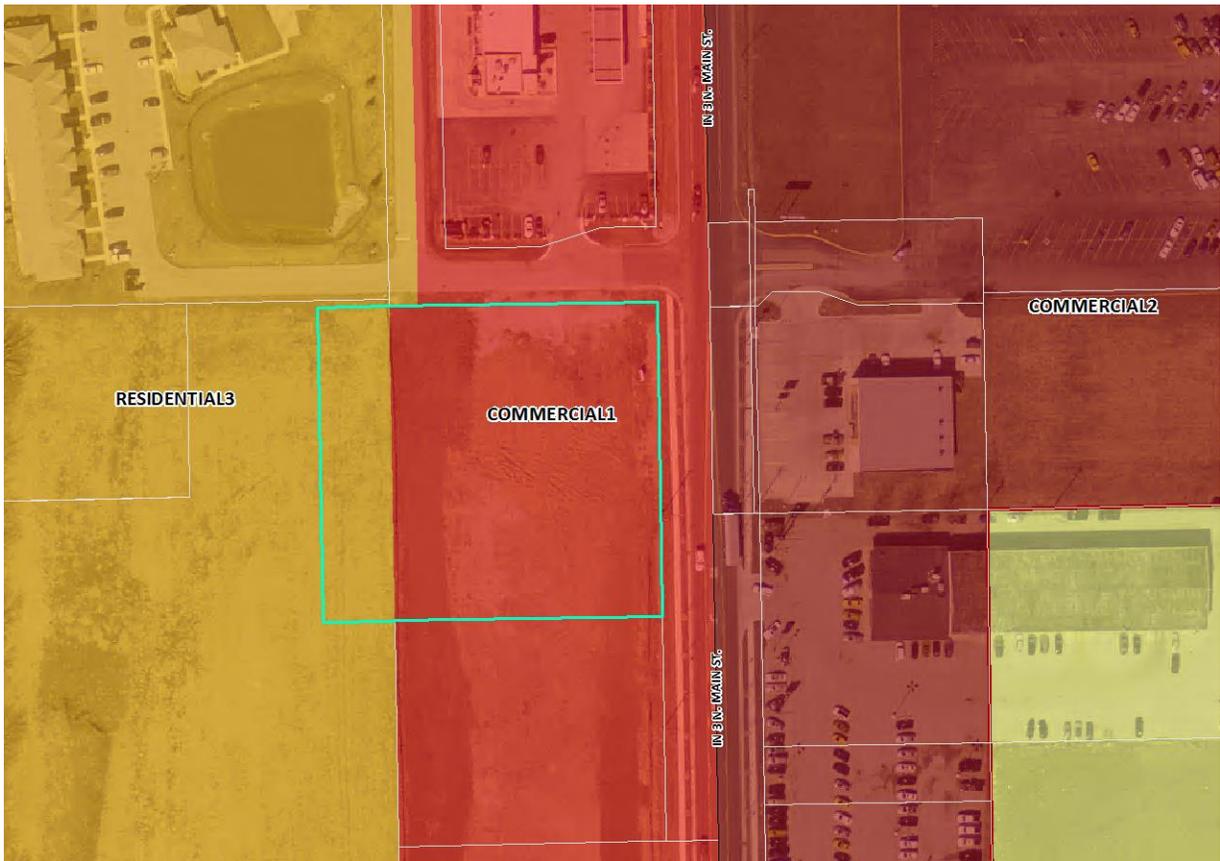
Director

ADJOURN:

RUSH COUNTY BOARD OF ZONING APPEALS
Thursday, March 6, 2014

STAFF REPORT – 1759 N. Main Street

1. Farm Credit Mid-American, 1759 N. Main Street, Rushville, is requesting a variance from Section 6-101-9 of the Rushville Zoning Ordinance to allow a freestanding sign over ten (10) feet in height and over thirty-two (32) square feet in size, zoned C-1; Neighborhood Business District.



Surrounding Zoning Districts & Uses

Zoning District	Property Use
North: C-1; Neighborhood Business District	Speedway Gas Station
South: C-1; Neighborhood Business District	Undeveloped Commercial
East: C-2; Community Business District	O'Reilly Auto Parts/Hubler Chevrolet
West: R-3; Multi-Family Residential	Undeveloped Multi-Family Residential

Petition Facts

1. The applicant is requesting a variance to place a freestanding sign on the property that is approximately 78 square feet in area and twenty (20) feet in height.
2. The Rushville Zoning Ordinance does not allow freestanding signs larger than 32 square feet and limits freestanding signs to ten (10) feet in height.
3. For comparison purposes, the freestanding sign located directly across State Route 3 at O'Reilly Auto is eighty (80) square feet in size and twenty-six (26) feet in height.
4. The sign will be located approximately thirty-five (35) feet from the right-of-way, roughly centered from the north and south property line.
5. Signs with an electronic reader board are required to be located thirty-five (35) feet from any road right-of-way.

CRITERIA FOR DECISIONS – VARIANCE:

In taking action on all variance requests, the Board of Zoning Appeals shall use the following decision criteria, consistent with the requirements of the Indiana Code and outlined in Section 10.3 of the Rush County Zoning Ordinance. The Board may grant a variance from development standards and limitations of this Ordinance if, after a public hearing, it makes findings of facts in writing (consistent with IC 36-7-4-918.5) that:

DECISION CRITERIA – VARIANCE

1. General Welfare: The approval (will or **will not**) be injurious to the public health, safety, morals, and general welfare of the community.

Staff Finding:

While the variance would allow the sign be larger than is permitted by the Rushville Zoning Ordinance, it would be located well away from the road right-of-way and should not cause any traffic related issues.

2. Adjacent Property: The use or value of the area adjacent to the property included in the variance (will or **will not**) be affected in a substantially adverse manner.

Staff Finding:

The State Route 3 corridor is a primarily commercial corridor and the proposed sign is not significantly larger than other nearby signs (may actually be smaller) or what would be expected in similar districts. There is no reason to believe that this variance would affect adjacent property.

3. Unique Conditions: The need for the variance (**does** or does not) arise from some condition peculiar to the property involved and does not exist in similar property in the same zone.

Staff Finding:

The unique condition in this instance is the ordinance that applies to signage. Research has shown that existing signs located in the same vicinity were permitted under prior guidelines that appear to be much more relaxed. By strictly adhering to the current sign regulations, the sign will be of a much smaller size than those of surrounding properties and will be appear out of scale and could be difficult to read from the road.

4. Unnecessary Hardship: The strict application of the terms of the ordinance (**will** or will not) constitute an unusual and unnecessary hardship as applied to the property for which a variance is sought.

Staff Finding:

Again, for the same reasons listed in the previous criteria, the size and scale will be disjointed from surrounding businesses if the ordinance is strictly followed.

5. Minimum Variance: The variance (**is** or is not) the minimum variance that will make possible the reasonable use of the land, building, or structure.

Staff Finding:

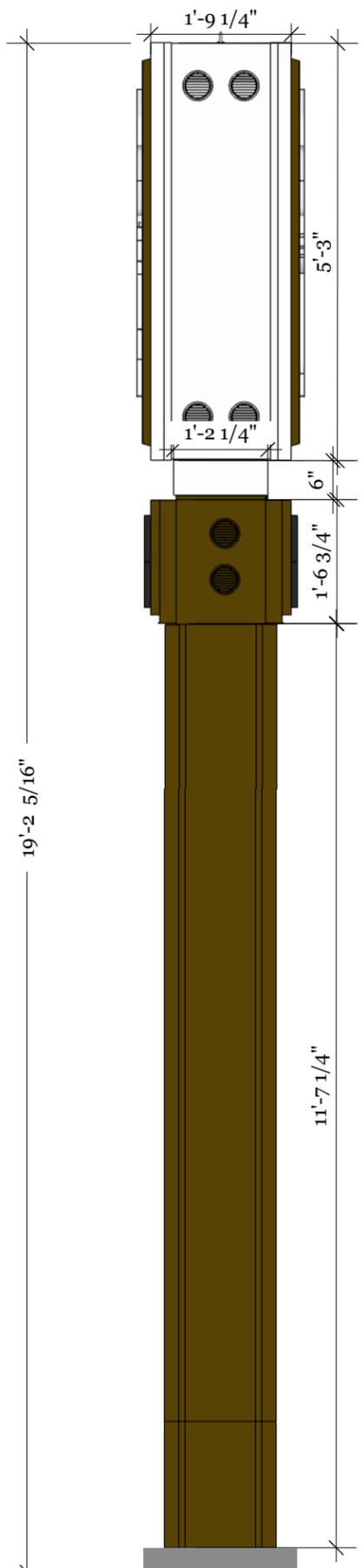
The variance is for the exact size of the sign and would not allow for further expansion in the future, and therefore, would be the minimum variance.

Please Note: The Rush County Board of Zoning Appeals may impose reasonable conditions as part of its approval.

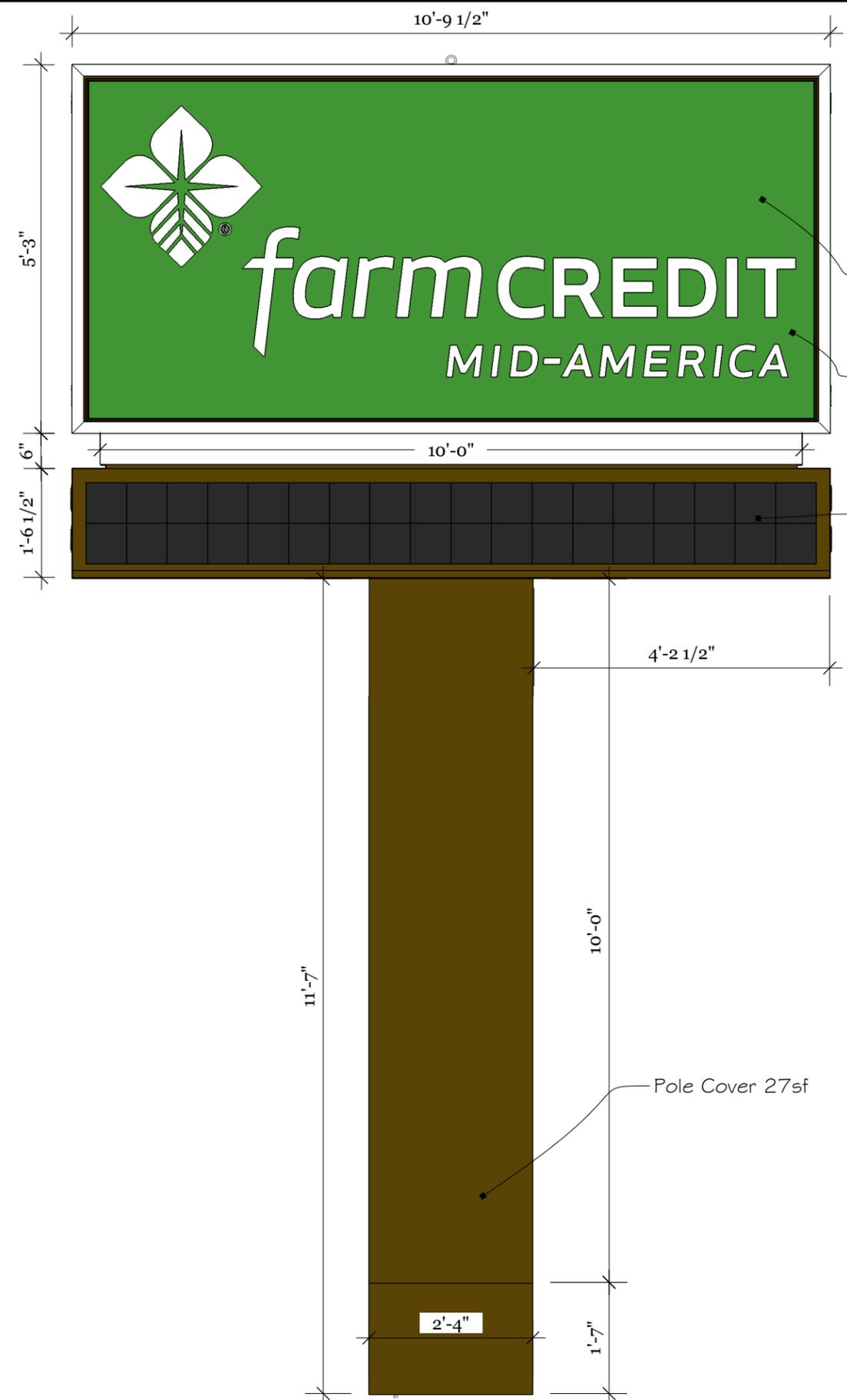
Staff Recommendation - Variance

In reviewing this petition, it appears that the request is in line with similar freestanding signs in the same vicinity. Research appears to show that different guidelines were applied to signs permitted before 2009 and permits on file for signs that have been permitted are somewhat lacking in information and it has been difficult to come to any conclusion on whether or not the existing signs met previous versions of zoning. Regardless of that fact, the reality is that the overwhelming majority of signs are much closer to the size of the proposed sign than what is permitted by ordinance. Prior experience leads me to believe that the sign regulations in the Rushville Zoning Ordinance are less than practical in application and should be reviewed for revisions in the near future. Because of these facts, it is of staff opinion that this variance be **approved**.

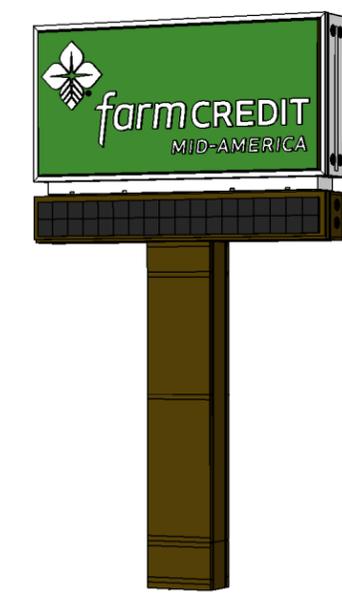
Submitted by Kevin Tolloty, AICP
Executive Director, Rush County APC
February 26, 2014



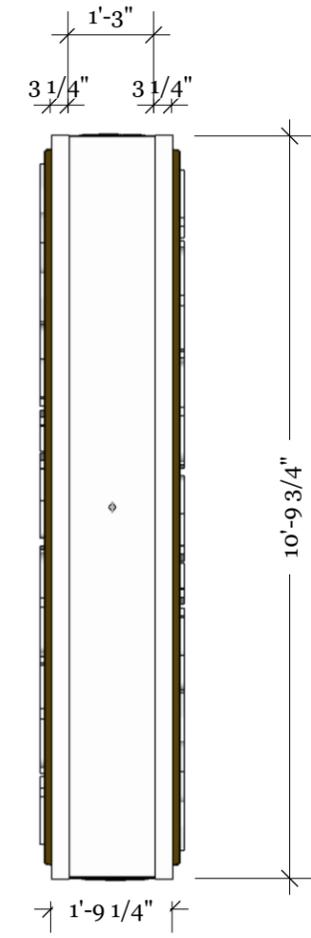
A :: Side View
001 scale: 1/2"=1'



B :: Front View
001 scale: 1/2"=1'



D :: 3D View
001 scale: NTS



C :: Top View
001 scale: 3/8"=1'

Face and Frame 56.6sf

Entire upper section 77.5sf

Readerboard only 12sf

Pole Cover 27sf

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Quantity
1

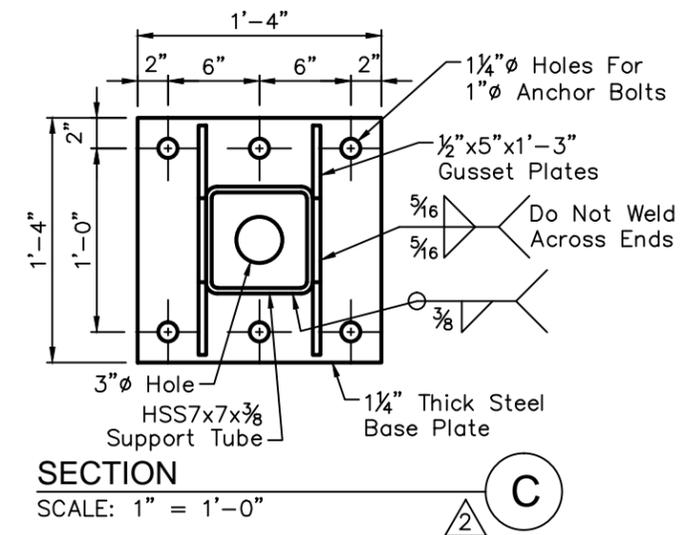
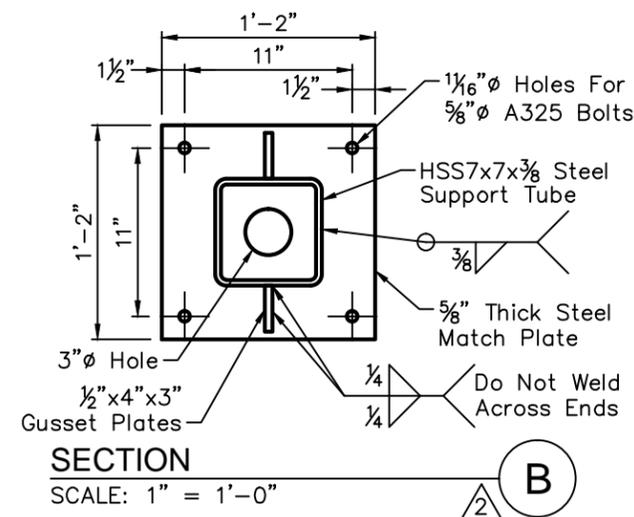
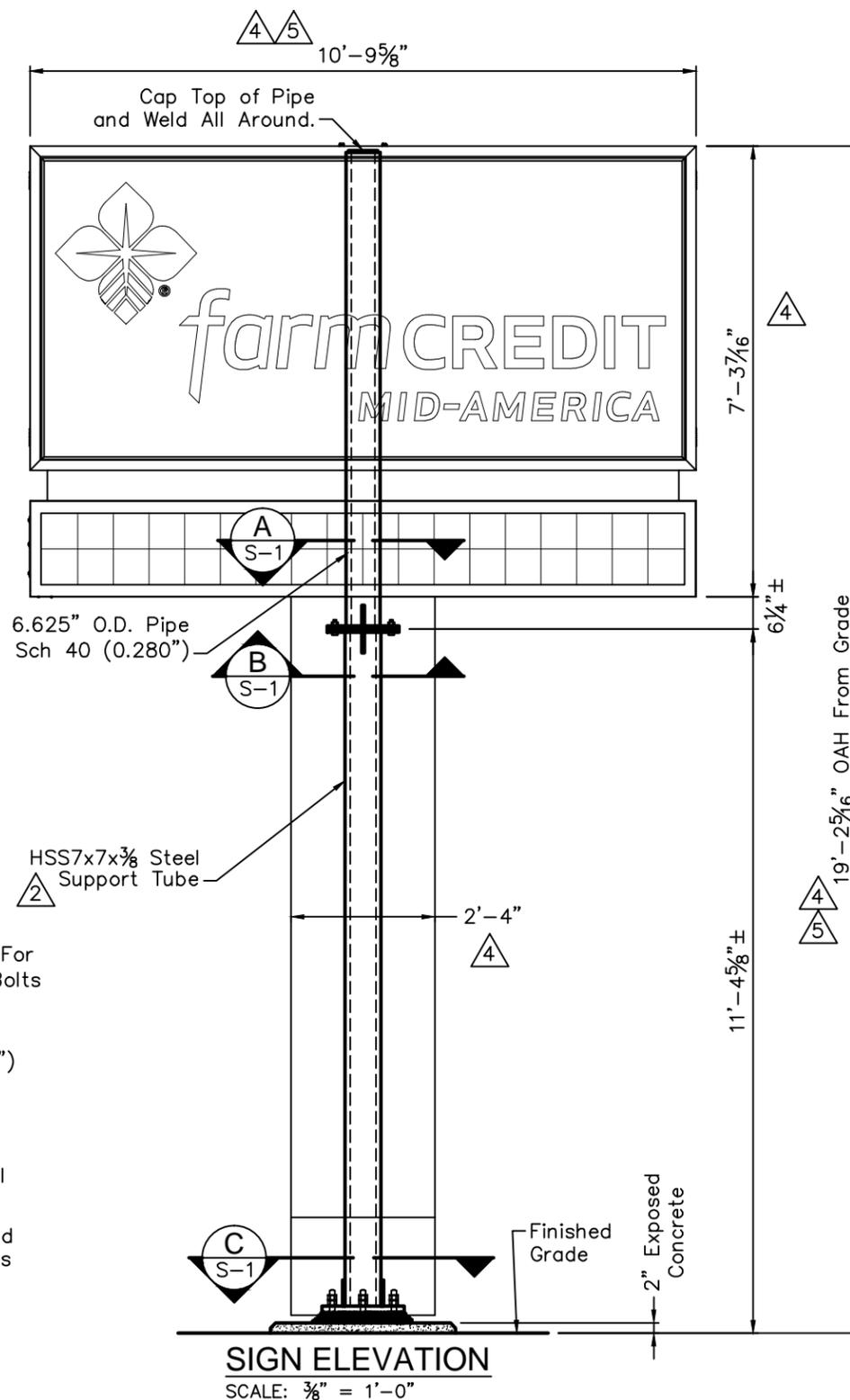
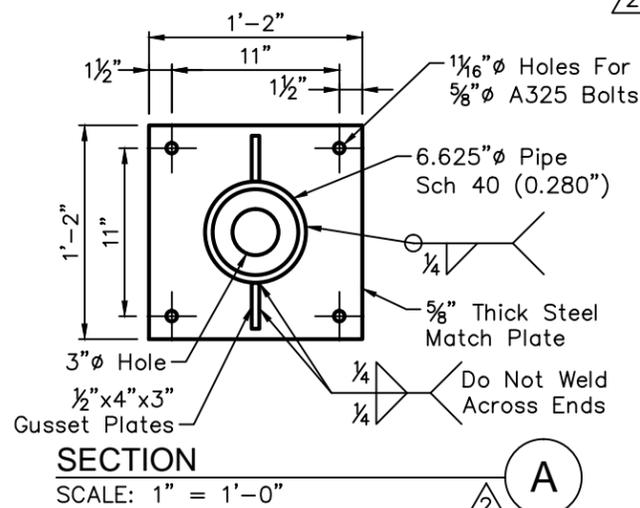
PROJECT NO.:	?
DRAWN BY:	?
CHECKED BY:	?
ISSUE DATE:	?
ISSUED REVISIONS:	
1 -	
2 -	
3 -	
4 -	
5 -	
6 -	
7 -	

Farm Credit
Standard Pylon

This Drawing is Only Valid if Accompanied by All Sheets:
 (S-1) Structure
 (S-2) Pier Foundation
 (S-3) Spread Foundation

Design of Cabinet and Design of Illumination of Cabinet is by Others.

Material Thickness Shown on Drawing are Minimum Required by Design. Vendor Must Confirm Material is Available Within Required Lead Time. Thicker Material May be Used. Do Not Use a Different Grade of Steel Other Than What is Called For on This Drawing.



GENERAL NOTES:

1. Do Not Guess. Direct all Questions Concerning This Drawing to Elrod & Company, LLC.(615-890-9405)
2. Do Not Scale This Drawing.
3. Graphics are not to be Reproduced From This Drawing.
4. Structural Steel Plate & Angle Shall Conform to ASTM A36 (Fy (Yield)= 36 ksi).
5. Pipe Fabricated From Plate Shall Conform to ASTM A36 (Fy (Yield)= 36 ksi min. to 50 ksi max.).
6. Pipe not Fabricated From Plate Shall Conform to ASTM A53 Type "E" or "S", Grade "B" or Equivalent. (Fy (Yield)= 35 ksi min. to 50 ksi max.) Do Not Use Mill Reject Pipe. A53 Type "F" is NOT Permitted.
7. Structural Steel Tubing Shall Conform to ASTM A500 Grade "B" (Fy = 46 ksi).
8. "Legible" Mill Test Certificates, Expressed in "KSI" or "PSI", are Required on all Pipe. All Pipe to Conform to ASTM A36 or ASTM A53 Type "E" or "S", Grade "B". The Yield Stress Limits are in Place to Help Ensure the Sign Structure Performs to the Engineered Design. Used Pipe and Pipe for Which Mill will not Provide Certification will not be Allowed!
9. As Pipe Sections are not Perfectly Round, Careful Shop Fit-Up of the Splice Connections Shall be Performed. Line-up Markings are to be Provided to Avoid Costly Labor and Crane Charges.
10. Pipe Shall be Considered Ovalled and Unacceptable if the Measured Outside Diameter at any Point Varies by More Than 2% of the Nominal Outside Diameter as Specified on the Design Documents. Large Diameter Pipes Should be Braced to Help Prevent Distortion After Fabrication.
11. Pipe with Dimpled Walls, Ovalled Pipe and Bent Connection Elements Shall not be Used.
12. Breach Openings of any Size in the Wall of any Pipe Sections are Strictly Prohibited. Welded Pipe Nipples No Larger Than 3" are Acceptable.
13. All Metal not Specified as Aluminum Shall be Steel.
14. All Welding Shall Conform to Recommendations as Published by The American Welding Society D1.1.
15. Workmen Who will Perform Welding Operations Shall be Certified for the Applicable Welding Procedure.
16. For Field Welding Do Not Use Mig Welding Process. Use E70 Series Low Hydrogen Electrodes.
17. Fabricated Steel Shall be Cleaned of Mill Scale, Oil, & Other Surface Contaminates Prior to Painting.
18. All Steel, Pipe Sections (Exposed and Embedded), and Splice Connections Must be Primed, Painted and Allowed to Cure Prior to Shipping to Site.
19. Any Holes Cut in Pipe for Handling Must be Completely Filled with Weld Material and Ground Smooth.
20. Cabinet Mounting Bolts to be ASTM A325. Bolts, Nuts, Flat & Lock Washers to be Hot-Dip Galvanized with Threads Excluded From the Shear Plane. Vendor Shall use a Method For Tightening Bolts Such That Proper Pre-load is Obtained as Specified by The American Institute of Steel Construction & The Industrial Fasteners Institute.

Design Criteria:

Building Code: IBC 2009/ASCE 7-05
 Analysis: P-Delta/LRFD-AISC 13th
 Wind Speed: 90mph
 Importance Factor: 0.87 P=21.1 psf
 Exposure: C

Drawn	TBG
Checked	WML
EAC Job#	100z1245
Filename	100x998.dwg
Created	10/22/2012



CLIENT:

Integrated Sign & Graphic Inc.

5801 Kingspost Ct
 Lexington, KY

19'-2" OAH Pylon Sign w/ Anchor Bolts

Farm Credit Mid-America
 1759 North Main Street
 Rushville, IN 47173

Revisions

3	01/11/2013	Added Spread Ftg Option - Sheet S-3
4	05/01/2013	Revised Sign Cabinet & Added Anchor Bolts
5	06/03/2013	Revised Cabinet & Fdn's to Current Std's.

Sheet No.

S-1

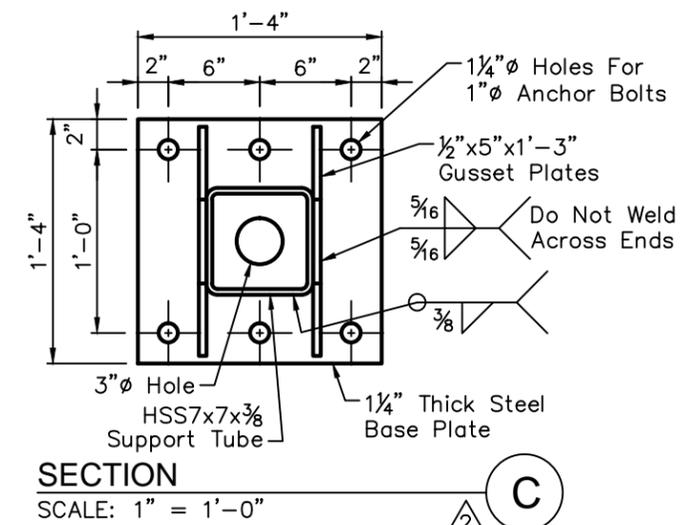
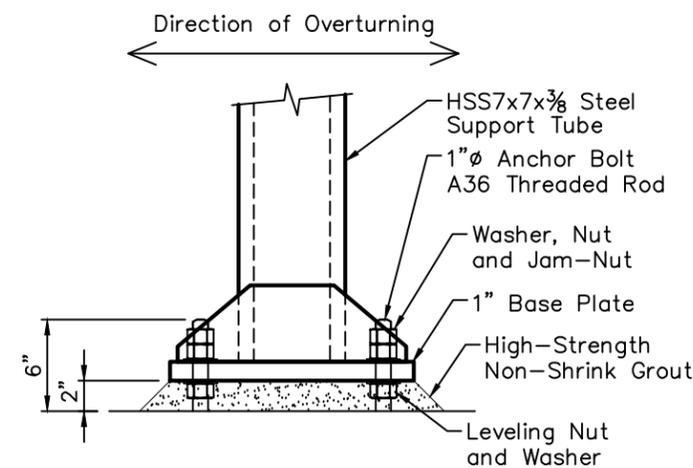
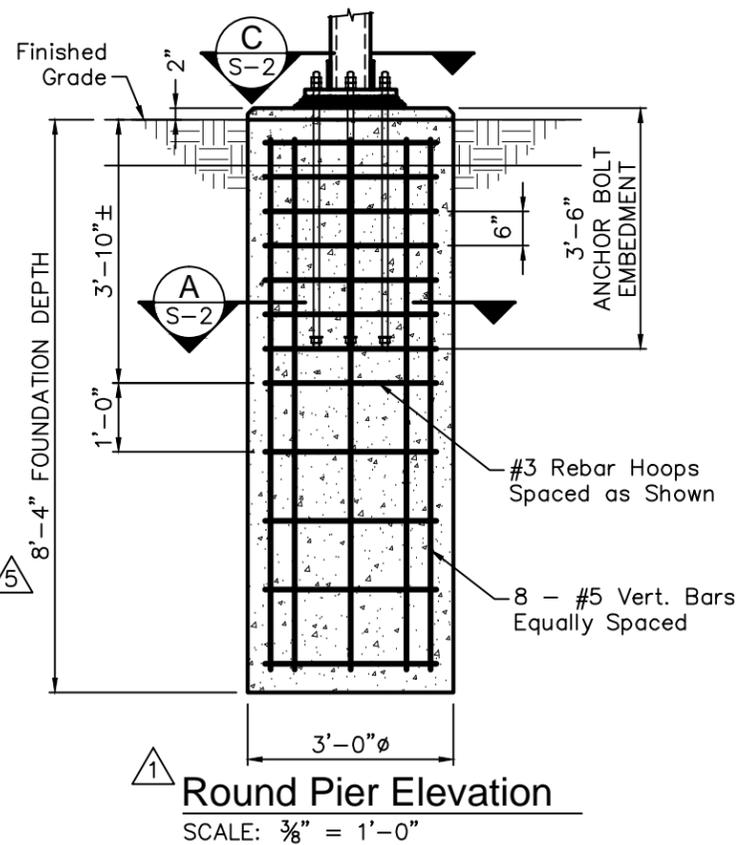
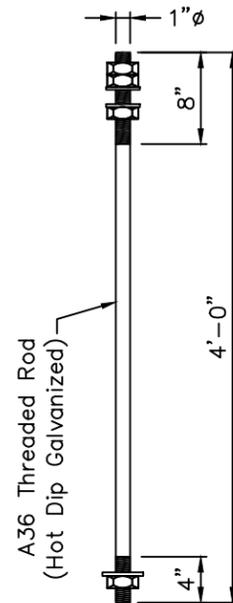
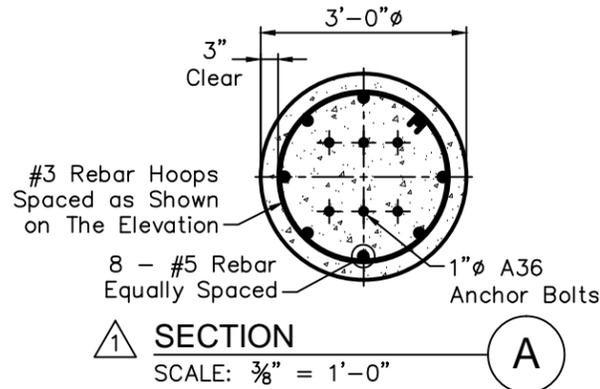
02/10/2014

This Drawing is Only Valid if Accompanied by All Sheets:
 (S-1) Structure
 (S-2) Pier Foundation
 (S-3) Spread Foundation

Sign Company to Use Experienced Excavation Crew to Perform Foundation Excavation.

FOUNDATION NOTES:

- Concrete Shall be Ready Mixed; Designed to Develop a Minimum Compressive Strength of $f'_c = 3,000$ psi @ 28 DAYS. Water is Not to be Added to Concrete at Job Site.
- Reinforcing Steel Shall Conform to ASTM A615 Grade 60 With Deformations Conforming to ASTM A-305.
- Excavation is to be in Compliance With OSHA Regulations and Shall Have a Level Bottom Free of Loose Soil, Water and Debris.
- Bearing Surfaces for Foundations Should not be Disturbed or Left Exposed During Inclement Weather; Saturation of the On-Site Soils Can Cause a Loss of Strength and Increased Compressibility. If Construction Occurs During Inclement Weather, and Placement of the Foundation is not Possible at Time Excavated, a Layer of Lean Concrete Should be Placed on the Bearing Surface for Protection.
- If Rain is Expected Within 24 Hours of Completing the Concrete Pour, the Concrete Must be Covered. If Temperatures are Expected to Drop Below 40 Degrees Within the Next 24 Hours of Completing the Concrete Pour, Then Concrete is to be Covered and Protected to Prevent Heat Loss and Freezing.
- Reinforcing Steel Shall be Free From Mud, Oil or Other Nonmetallic Coatings That Decrease Bond.
- Maintain a Minimum of 3" Clear Distance from Face of Concrete to all Reinforcing Steel, Unless Otherwise Noted on Drawing.
- Do Not Weld Reinforcing Steel. Reinforcement Shall be Placed as Detailed on the Design Drawings and "Tied" Securely to Prevent Movement During Concrete Pour.
- Concrete Must be Poured as a Workable Mixture With a Slump Between 4"-6". All Concrete Mixing Trucks Must Thoroughly and Completely Mix the Concrete "Spin-Up" Prior to Pouring.
- Additional Water is not to be Added to concrete on Site. Additional Water Decreases the Strength of the Concrete Mixture. Concrete Should be Rejected in Lieu of Changing Concrete Mixture on Site.
- Vendor Should Work the Top of the Concrete to Ensure all Rock has been Covered by Cement and Top of Concrete Foundation is Level.
- Anchors Shall be Securely Mounted Using an Anchor Setting Template to Avoid Movement During Concrete Pour. Extreme Caution Should be Exercised to Insure Orientation, Alignment, and Projection of Threads, and to Avoid Fouling Threads with Concrete During Pour.
- Sign Contractor Shall Pack the Space Between the Base Plate and the Top of Concrete Solid with High Strength Non-Shrink Non-Metallic Grout. Do Not use Concrete Mix For Grout. Workmen Experienced in the Use of Non-Shrink Grout shall Perform Grouting.
- Where Anchor Bolts are Required, Anchor Bolts Shall be Cut From Round Rod and Shall Conform to A.S.T.M. A36 Steel. Exposed Surfaces Shall be Hot-Dip Galvanized or Coated to Prevent Corrosion.
- Note Overall Length of Anchors and Amount of Threading Required on each end of Anchor Rod Per Details on Each Drawing. Threading Shall be Carefully Controlled to Avoid Over-Cutting or Under-Cutting of Threads. Nut Shall Move Freely by Hand Without "Wobble".
- Mechanical Vibrators Shall be Used to Consolidate Concrete Around Reinforcement.
- Sign Support Shall not be Installed Until Concrete has Cured For 21 Days.



FOUNDATION DESIGN CRITERIA

Per IBC 2009, Allowable lateral soil pressure = 100psf/ft with 2x increase applied. Concrete Shall Develop a Minimum Compressive Strength of 3000psi in 28 Days. Foundation is Not Designed For Locations Where the Seasonal Fluctuation of the Water Table Rises to an Elevation Higher Than Half the Depth of the Foundation.
 Verify Site Conditions Prior to Construction

Drawn	TBG
Checked	WML
EAC Job#	100z1245
Filename	100x998.dwg
Created	10/22/2012

ELROD ENGINEERING
 410 New Salem Road, Suite 106
 Murfreesboro, TN 37129
 866-399-5111

CLIENT:
Integrated Sign & Graphic Inc.
 5801 Kingspost Ct
 Lexington, KY

19'-2" OAH Pylon Sign w/ Anchor Bolts
 Farm Credit Mid-America
 1759 North Main Street
 Rushville, IN 47173

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4	05/01/2013 Revised Sign Cabinet & Added Anchor Bolts
5	06/03/2013 Revised Cabinet & Fdn's to Current Std's.

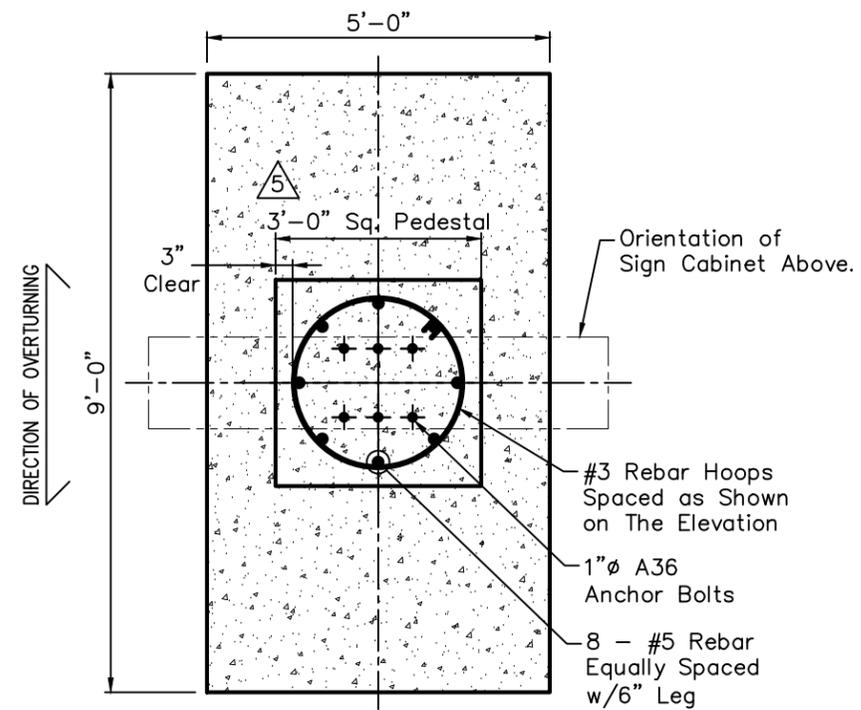
Sheet No.

S-2

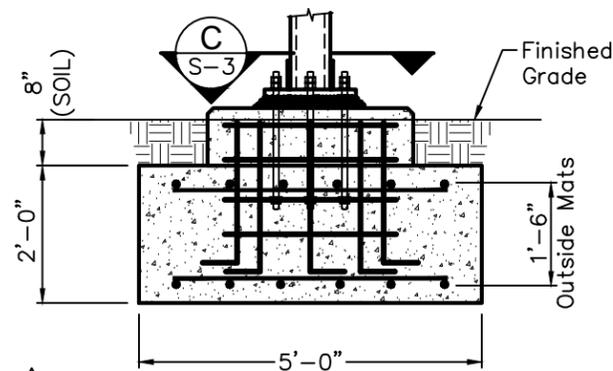
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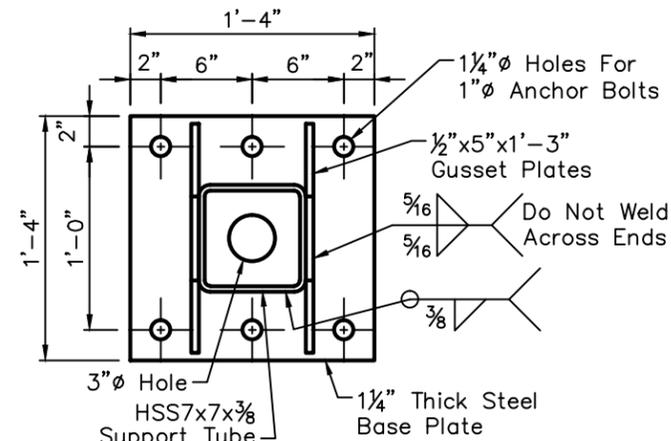
Sign Company to Use Experienced Excavation Crew to Perform Foundation Excavation.



FOUNDATION PLAN
 SCALE: $\frac{3}{8}$ " = 1'-0"

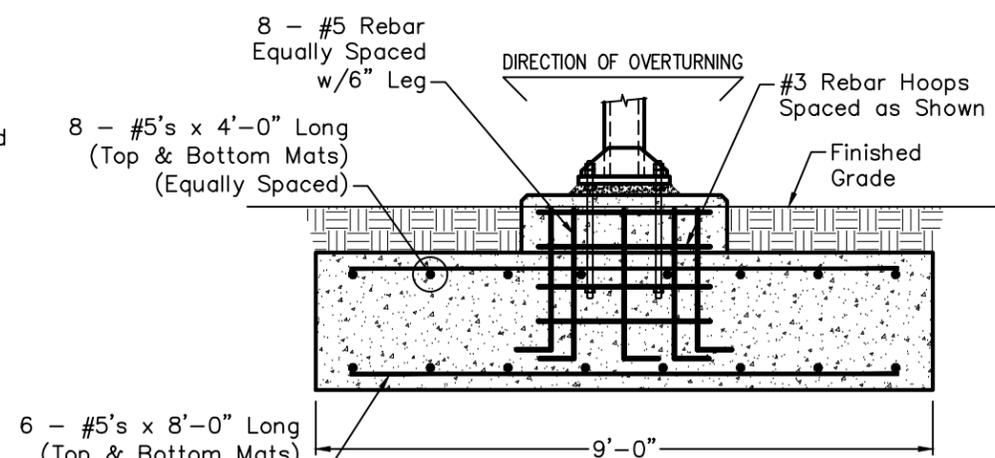


FOUNDATION ELEVATION
 SCALE: $\frac{3}{8}$ " = 1'-0"



SECTION
 SCALE: 1" = 1'-0"

If Rebar is Used to Space the Top & Bottom Reinforcement Mats, Then Use the Same size Bars as the Mats. A Sufficient Amount of Support is to be Used so as to Prevent the Rebar Mats From Deforming during the Placement of the Concrete.



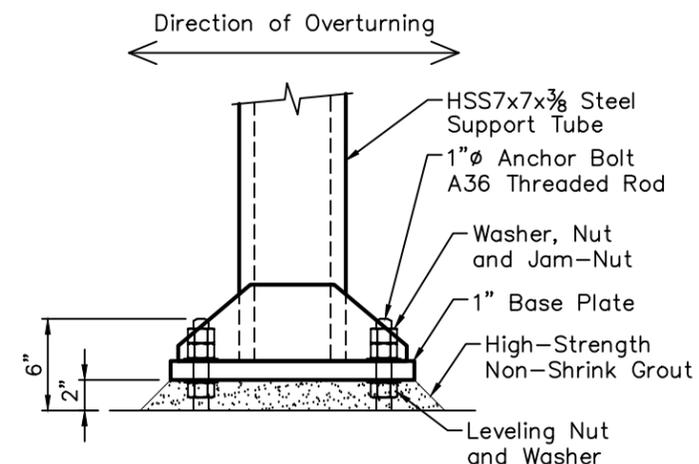
FOUNDATION PROFILE
 SCALE: $\frac{3}{8}$ " = 1'-0"

FOUNDATION CRITERIA

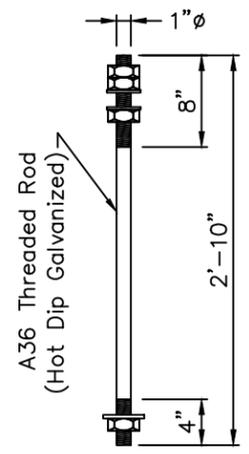
Safe Bearing Capacity of Soil = 2000 Psf
 Highest Seasonal Water Table at 3'-8" Below Grade
 Concrete Shall Develop a Minimum Compressive Strength of 3000 Psi in 28 Days.
 Verify Site Conditions Prior to Construction

FOUNDATION NOTES:

1. Do NOT guess. Direct all questions concerning this drawing to ELROD & COMPANY, LLC (615-890-9405).
2. Do NOT scale this drawing.
3. Concrete shall be Ready Mixed; Designed to develop a minimum compressive strength as stated in foundation criteria below. Additional water is not to be added to concrete on site. Additional water decreases the strength of the concrete mixture. Concrete should be rejected in lieu of changing concrete mixture on site.
4. Reinforcing steel shall conform to ASTM A615 Grade 60 w/Deformations conforming to ASTM A-305.
5. Excavation is to be in compliance with OSHA regulations and shall have a level bottom free of loose soil, water and debris.
6. Where Extreme Frost Depth is below bottom of foundation, excavate to 6 inches below frost depth and increase concrete quantity.
7. Bearing Surfaces for foundations should not be disturbed or left exposed during Inclement Weather; Saturation of the on-site soils can cause a loss of strength and increased compressibility. If construction occurs during inclement weather, and placement of the foundation is not possible at time excavated, a layer of lean concrete should be placed on the bearing surface for protection.
8. If rain is expected within 24 hours of completing the concrete pour, the concrete must be covered. If temperatures are expected to drop below 40 degrees within the next 24 hours of completing the concrete pour, then concrete is to be covered and protected to prevent heat loss and freezing.
9. The base of pipe section shall be "Plumb" and "Adequately Braced" to prevent movement before, during, and after concrete pour and left in place until concrete has set.
10. Reinforcing steel shall be free from mud, oil or other nonmetallic coatings that decrease bond.
11. Maintain a minimum of 3" clear distance from face of concrete to all reinforcing steel, unless otherwise noted on drawing.
12. Bottom reinforcement to be supported w/ concrete block solids no larger than 4"x4".
13. Do not weld reinforcing steel. Reinforcement shall be placed as detailed on the design drawings & "Tied" securely to prevent movement during concrete pour.
14. Concrete shall not be placed on frozen ground.
15. Do not cold joint concrete. Foundation must be poured continuously until all concrete has been placed. Concrete must be poured as a workable mixture with a Slump between 5"-7". All concrete mixing trucks must thoroughly and completely mix the concrete prior to pouring.
16. Pipe is not required to be filled with concrete.
17. Concrete Shall be Vibrated by Mechanical Vibrators.
18. Vendor should work the top of the concrete to ensure all rock has been covered by cement and top of concrete foundation is level. Top of concrete may be broom finished.
19. Foundation is not designed for location where the seasonal fluctuation of the water table rises to an elevation higher than stated below. If Excavation begins to fill with water more than 1/2" deep Installer is to Contact Elrod & Company, LLC for Further Instructions.
20. Mechanical Vibrators Shall be Used to Consolidate Concrete Around Reinforcement.
21. Sign Support Shall not be Installed Until Concrete has Cured For 21 Days.



Anchor Bolt Projection Detail
 SCALE: 1" = 1'-0"



Anchor Bolt Detail
 SCALE: $\frac{3}{4}$ " = 1'-0"

Drawn	TBG
Checked	WML
EAC Job#	100z1245
Filename	100x998.dwg
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4	05/01/2013 Revised Sign Cabinet & Added Anchor Bolts
5	06/03/2013 Revised Cabinet & Fdn's to Current Std's.

Sheet No.
S-3

02/10/2014

CONSTRUCTION REFERENCE NOTES

- ① CONSTRUCT CONCRETE MEDIAN CURB.
- ② CONSTRUCT 3" INTERNAL CURB AND WALK.
- ③ CONSTRUCT ASPHALT KEYWAY.
- ④ CONSTRUCT ASPHALT PAVEMENT SECTION.
- ⑤ CONSTRUCT 5" CONCRETE WALK.
- ⑥ CONSTRUCT PARALLEL HANDICAP RAMP.
- ⑦ SLOPE AS SHOWN IN ACCORDANCE WITH MUTCD.
- ⑧ CONSTRUCT CONCRETE DRUM/STEER PAD. SEE ARCHITECTURAL PLANS FOR DETAILS.
- ⑨ CONSTRUCT DRUM/STEER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- ⑩ FINISH GRADE, SEED AND STRAW ALL DISTURBED AREAS FOLLOWING CONSTRUCTION.
- ⑪ TAPER CURB DOWN IN 12" AT EDGE OF WALK.
- ⑫ INSTALL HANDICAP PARKING EDGL.
- ⑬ INSTALL "VAN ACCESSIBLE" HANDICAP PARKING SIGN.
- ⑭ PROPOSED SIGN LOCATION. SEE ARCHITECTURAL PLANS FOR DETAILS.
- ⑮ END CURB CONSTRUCTION AND TAPER CURB DOWN IN 12".
- ⑯ INSTALL CONCRETE WHEEL STOP.
- ⑰ PROPOSED LIGHT POLE. CHECK TO VERIFY LOCATION AND TYPE.

PARKING SUMMARY

PARKING REQUIREMENT	17 SPACES
1 SPACE / 300 SF	
PARKING PROVIDED	28 SPACES
STANDARD SPACES	2 SPACES
HANDICAP SPACES	26 SPACES
TOTAL PROVIDED	

PROJECT SUMMARY

EXISTING ZONE	E2
EXISTING USE	VACANT
PROPOSED USE	FINANCIAL OFFICE
GROSS ACREAGE	1.843 AC
PROPOSED BUILDING S.F.	5143 S.F.
PROPOSED LOT COVERAGE	1%

milestone



108 Davenport Lane
Suite 300
Louisville, Ky 40223
t: (502) 327-7073
f: (502) 327-7066

**FARM CREDIT MID-AMERICA
RUSHVILLE, INDIANA**

DATE: 7/16/13
DRAWN BY: J.D.M.
CHECKED BY: D.L.E.
SCALE: 1"=30' (HORZ)
SCALE: N/A. (VERT)

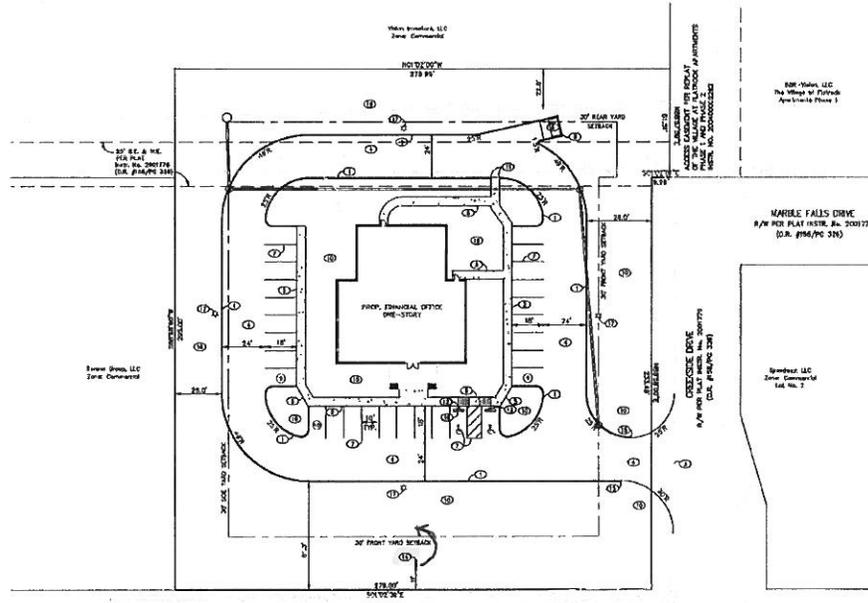
REVISIONS



SITE LAYOUT PLAN

JOB NUMBER
13033

C4



sign location to be
35' from P/W to
allow for readerboard



Restrictions for Code 825 - Livestock on less than ten (10) acres of land:

- Amend #2 - Limit of one quadruped per acre of land
- Remove #3 - Limit of ten fowl per acre
- Amend #4 - Limit of five domesticated pets per acre of land

Amended Code 825

1. If there is a dwelling on the lot, one (1) acre shall be allocated to the dwelling unit.
2. The number of quadrupeds per acre will be based on Purdue recommendations.
*(I do not have the numbers yet, but will pass those along as soon as I do)
3. Five (5) or less domestic pets per acre are permitted by right in all zones.
4. More than five (5) domestic pets per acre are permitted only in agricultural zones by special exception.

Restrictions for Code 826 (new code) - Fowl on less than ten (10) acres of land:

Applicant must complete scorecard located in Appendix E of the Rush County Zoning Ordinance.

Additional Restrictions - All Zones:

1. Food shall be stored in airtight containers.
2. Coops and bedding shall be kept clean.
3. Soiled bedding and manure shall be properly disposed in a timely manner.
4. Notice of chickens shall be sent to all residential structures within 500 feet of proposed coop.
5. Birds shall be housed in appropriately sized housing.

Additional Restrictions - Non-Agricultural Zones:

1. Chickens only permitted. Waterfowl, peafowl, guinea fowl and other game birds not permitted.
2. Chickens may be kept for non-commercial use only.
- ~~3. Chickens may not be slaughtered on-site.~~
4. Chickens may be kept only on the lot where the applicant resides or an adjoining lot.
5. Chickens may be kept in side or rear yards only.

Permits

Permits will initially be valid for a one (1) year period. Permits will be automatically renewed every three (3) years if there are no zoning violations relating to chickens and/or other fowl.

Permit will be a one (1) time \$25 fee.

Green Text - Added/Changed from first draft

Red Text - To be removed from first draft

Chicken Ordinance - Scorecard

> 45 points - permitted

25 - 45 points- special exception required

< 24 points - not permitted

Lot Size:	Points	Zoning	Points
< 0.50	2	Agricultural	10
0.50 - 0.99	4	Non-Agricultural	0
1 - 2.99	8		/10
3-6.99	14		
7-10	20		
	/20	Number of Roosters	
		0	10
		1 (non-ag. zone)	-10
		1+ (ag. zone)	0
		2+ (non-ag. zone)	-50
			/10
Number of Chickens		Section Density	
1-4	15	0-5	20
5-9	10	6-10	12
10-19	6	11-17	6
20-49	3	18+	3
50+	0		
	/15		
Chicken/Acre Ratio			
< 10 per acre	8		/20
10-19 per acre	4		
20-50 per acre	0		
>50 per acre	-10		
	/8	Total Points:	/113

Coop Setback (from nearest residential structure)

<10	-50	
10-24 ft.	0	
25 - 49 ft.	5	
50 - 74 ft.	10	
75 - 100 ft.	15	
> 100 ft.	20	
Chicken Tractor/Mobile Coop	10	
	/20	

Type of Enclosure

Opaque Fencing - over 6 feet	8	
Opaque Fencing - 6 feet or less	5	
Non-opaque Fencing - over 6 feet	5	
Non-opaque Fencing - 6 feet or less	2	
No fencing (Ag. Zone)	-5	
No fencing (Non-Ag. Zone)	-50	
	/8	